



**APPLICATION FOR
CERTIFICATE OF APPROPRIATENESS
URBAN DESIGN PANEL**

Contact Planning & Development:
(864) 467-4476

Office Use Only:

Application# _____ Fees Paid _____
Date Received _____ Accepted By _____
Date Complete _____ App Deny Conditions _____

APPLICANT/OWNER INFORMATION

*Indicates Required Field

	APPLICANT	PROPERTY OWNER
*Name:	Narramore Associates, Inc.	Cap Camperdown Gville News LLC
*Title:	Chris Bernzott - Project Manager	Rebecca Gault
*Address:	310 Mills Ave, Suite 203 Greenville, SC 29605	935 S. Main St. Ste 201 Greenville, SC 29601
*Phone:	864-242-9881	864-331-2965
*Email:	chrisb@narramore.net	rebeccag@capllc.com

PROPERTY INFORMATION

*STREET ADDRESS 32 Broad Street Greenville, SC 29601

*TAX MAP #(S) 0061000304103

*SPECIAL DISTRICT C-4 Central Business District

DESCRIPTION OF REQUEST

To include scope of project and justification or response to specific guidelines and special conditions.

Proposed exterior improvements for a restaurant upfit at 32 E. Broad street facing Camperdown Plaza. We are removing existing clear anodized curtain wall and replacing with dark masonry and large folding glass doors that allow the restaurant to open up to the development. The doors lift and fold into a sort of awning similar to other restaurants in Greenville. The restaurant's new main entrance will receive a new steel canopy with wood slats to the ground on one side.

Overall intent with the design is to set this restaurant apart from the rest of the office building while also using darker colors to tie this design into the Camperdown project which has similar style in some areas.

INSTRUCTIONS

1. Preliminary meeting with staff is required prior to application submittal.
2. All applications and fees (made payable to the City of Greenville) for Certificate of Appropriateness must be received by the Planning & Development office no later than 2:00 p.m. on the date reflected on the attached schedule.

A. URBAN DESIGN PANEL	Site plan review	\$300.00
	Architectural review	\$300.00
B. SIGNS		\$150.00
C. APPLICATION FOR STAFF REVIEW		
	Major (all site development activity, roof gardens, decks or accessory structures; or any project that requires consultation with a member of the DRB).	\$100.00
	Minor (color change; replacement of windows/doors; additions, deletions or replacement of awnings; re-roofing; and projects that do not involve structural alterations, increase/decrease in window/door area or removal of architectural features).	\$ 50.00
D. INFORMAL REVIEW		
E. MODIFICATION TO AN APPROVED PROJECT		
	Major (requires review by DRB)	½ original fee
	Minor (requires review by staff)	\$ 50.00
F. REVISIONS (multiple required revisions may be subject to additional fees).		

3. The staff will review the application for "sufficiency" pursuant to Section 19-2.2.6, Determination of Sufficiency and will contact the applicant to correct any deficiencies, which must be corrected prior to placing the application on the Design Review Board agenda.
4. If the application requires review by the Urban Design Panel, public hearing signs must be posted on the subject property at least 15 days (but not more than 18 days) prior to the scheduled hearing date.
5. You must attach one (1) complete set of scaled drawings of the property at an appropriate scale such as 1"=20' or ¼" = 1', etc. Although construction drawings are not required, applicants for final approval should be able to provide construction drawings at the Design Review Board's (DRB) request. The Board may request additional information at any time to fully understand the proposal. Items submitted to the Board become the property of the City and will not be returned.

SITE PLAN REVIEW

- Site Plan Drawings (indicating footprint of existing buildings, proposed building, proposed exterior elements, demolition of existing site features, floor plan, proposed exterior equipment, etc.).
- Massing Studies and Images (images shall be high resolution and should depict adjacent building, proposed building massing from various viewpoints, initial architectural details, photos of surroundings to review context, etc.).
- Model (physical or digital model that includes the surrounding context with massing only, no texture or articulation is required). **The contextual model for the DRB boundary can be downloaded here: <https://greenvillesc.sharefile.com/d-s4197849a61943358>, and is provided as a .skp file. Data is updated monthly.**

ARCHITECTURAL REVIEW

- Elevation Drawings of all Exterior Sides (indicate proposed materials, existing grade and proposed grade, proposed mechanical equipment, outdoor lighting fixtures, landscape drawings, design and location of signage, removal of existing building elements, addition to existing building, a streetscape elevation of building adjacent to and across the street from the site, including the proposed building).
- Sections (include vertical dimensions in feet, building sections where significant changes occur in building volume, wall section for review of material relationships).
- Detail Drawings (include material and methods of each type of construction affecting the exterior appearance of the structure, samples, brochures and photographs of all exterior finishes, windows, fixtures, lighting and signage).
- Renderings (include perspective drawings, including views from pedestrian and public realm).
- Model (physical or digital model that includes the surrounding context and should include accurate scale, architectural detail to the extent that it describes the design intent, proposed textures and proposed signage).

For more detail on these submittal requirements, please refer to the **Greenville Downtown Design Guidelines**, adopted May 2017.

Please verify that all required information is reflected on the plan(s). Please submit one (1) paper copy and one (1) electronic version of the plan(s).


6. Please read carefully:

The applicant and property owner affirm that all information submitted with this application, including any/all supplemental information, is true and correct to the best of their knowledge and they have provided full disclosure of the relevant facts.

In addition, the applicant affirms that the applicant or someone acting on the applicant's behalf has made a reasonable effort to determine whether a deed or other document places one or more restrictions on the property that preclude or impede the intended use and has found no record of such a restriction.

If the Planning & Development office, by separate inquiry, determines that such a restriction exists, it shall notify the applicant. If the applicant does not withdraw or modify the application in a timely manner or act to have the restriction terminated or waived, the Planning & Development office will indicate in its report to the Design Review Board that granting the requested change would not likely result in the benefit the applicant seeks.

7. To that end, the applicant hereby affirms that the tract or parcel of land subject of the attached application is ___ or is not X restricted by any recorded covenant that is contrary to, conflicts with or prohibits the requested activity.

*Signatures	
Applicant	
Date	01/27/2022
Property Owner/Authorized Agent	Rebecca D. Gault
Date	1/31/22
Public Hearing Information	
Public Hearing Signs	

AERIAL VIEW



CURRENT ZONING



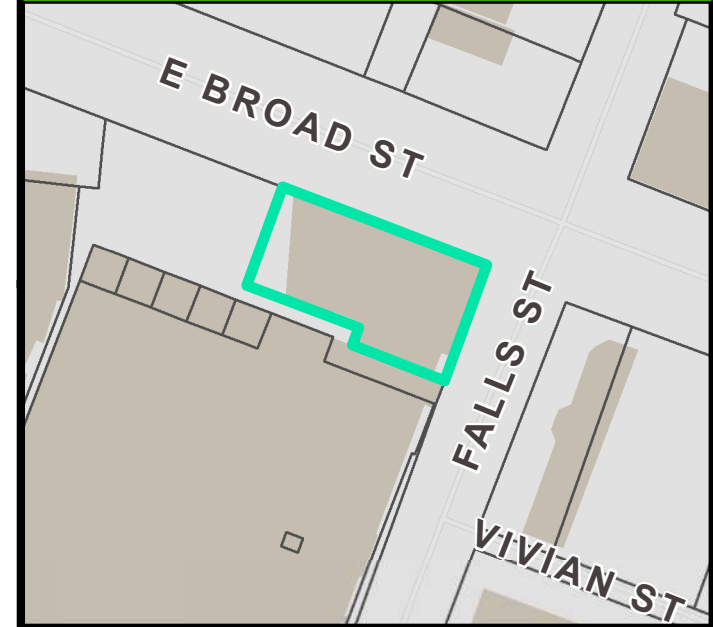
FUTURE LAND USE



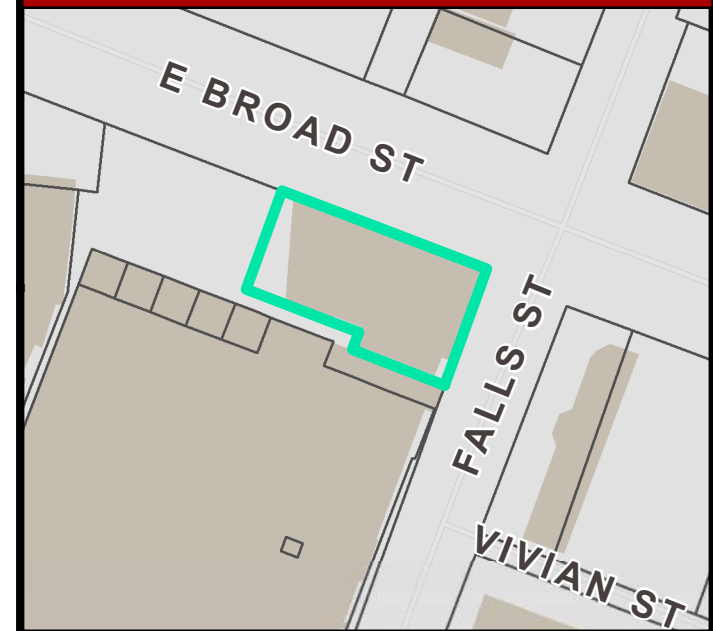
NATURAL / ENVIRONMENTAL FEATURES



SPECIAL EMPHASIS NEIGHBORHOODS



PRESERVATION OVERLAYS



GENERAL DEMOLITION NOTES:

1. ALL WORK SHALL MEET THE MINIMUM REQUIREMENTS OF THE LATEST ADOPTED EDITIONS OF THE APPLICABLE CODES AS INDICATED ON SHEET G1.0 AND ALL OTHER LOCAL, STATE OR FEDERAL CODES OR REGULATION HAVING JURISDICTION.
2. ALL CONSTRUCTION SHALL BE HANDICAPPED ACCESSIBLE AND COMPLY WITH BARRIER FREE DESIGN AND OTHER APPLICABLE STANDARDS.
3. ALL INTERIOR DIMENSIONS ARE FROM FACE OF STUD OR CENTERLINE OF COLUMN, UNLESS NOTED OTHERWISE.
4. DO NOT SCALE DRAWING. IF DIMENSIONS ARE IN QUESTION THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH THE WORK.
5. IN THE EVENT OF ANY DISCREPANCIES FOUND IN THE DRAWING AND THOSE OF ENGINEERS, THE CONTRACTOR SHALL BE REQUIRED TO NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL IN-PLACE STRUCTURAL ELEMENTS FROM DAMAGE DURING CONSTRUCTION.
7. PROVIDE TEMPORARY WEATHER PROTECTION DURING DEMOLITION TO PROTECT WORK EXPOSED TO THE EXTERIOR.
8. NEW ROOF WORK TO BE PERFORMED BY THE LANDLORDS ROOFING CONTRACTOR SO AS NOT TO VOID MANUFACTURES WARRANTY.
9. G.C. TO COORDINATE NEW ROOF PENETRATIONS AND STRUCTURAL BRACING FOR NEW ROOFTOP EQUIPMENT WITH THE STRUCTURAL ENGINEER AND THE EQUIPMENT SUPPLIER.
10. CAP ALL ABANDONED PLUMBING BELOW SLAB LEVEL, FILL/LEVEL ALL SLAB DEPRESSIONS/VOIDS W/ NEW CONCRETE TO BE FLUSH WITH THE EXISTING FINISH FLOOR.
11. DO NOT PENETRATE OR OTHERWISE INTERRUPT THE FIRE RATING OF RATED BUILDING ELEMENTS.
12. ALL SHORING AND BRACING (IF REQUIRED) AT SCOPE OF DEMOLITION IS TO BE COORDINATED WITH A STRUCTURAL ENGINEER.
13. VERIFY THAT WATER, GAS, ELECTRICAL AND SEWER SERVICES HAVE BEEN INSTALLED IN THE LOCATIONS INDICATED. REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.

NARRAMORE

EST 1973

ARCHITECTURE

American Institute of Architects

310 MILLS AVE. GREENVILLE, SC 29605

864.242.9881

plans@narramore.net

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SEAL

The diagram is a detailed architectural floor plan of the main level, intended for demolition. It shows the layout of various rooms and structural elements. Key areas include an existing lobby, two stairwells (Stair #1 and Stair #2), an existing elevator room, an existing storage room, an existing trash chute, an existing employee entrance vestibule, a patio, and an existing utility courtyard located below the main level. The plan also indicates areas where existing curtain walls and stud furring are to be removed. A portion of the curtain wall system is noted to be removed to the underside of an existing canopy. The existing facade is shown to remain. The drawing includes a grid system with vertical lines labeled 1 through 6 and horizontal lines labeled A through D. Section cut symbols are present: a circle with '3' and 'D2.0' at the top center, a circle with '4' and 'D2.0' on the left side, and a circle with '2' and 'D2.0' on the right side. A north arrow is located at the bottom center. The text 'EXISTING TO REMAIN, TYP. U.N.O.' is used to indicate areas that are not to be demolished.

1 Main Level Demo Plan
SCALE: 1/8" = 1'-0"

The logo for Larkin's Restaurant Upfit. It features the name 'LARKIN'S' in a large, serif font, with 'est. 2005' in a smaller font to its right. Below the name is a stylized graphic of a fish. To the right of the fish, the text 'AGED STEAKS • FRESH FISH • OLD WINE' is written in a smaller, sans-serif font.

LARKIN'S
RESTAURANT UPFIT
32 EAST BROAD STREET
GREENVILLE, SC 29601

REVISIONS

PROJECT DATA
NEW RESTAURANT UPFIT
PROJECT NUMBER
21934
ISSUE DATE
02-09-21

LARKIN'S RESTAURANT
GREENVILLE, SC

D1.1

MAIN LEVEL
DEMO PLAN



American Institute of Architects

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SEAL



**LARKIN'S
RESTAURANT UPFIT**
32 EAST BROAD STREET
GREENVILLE, SC 29601

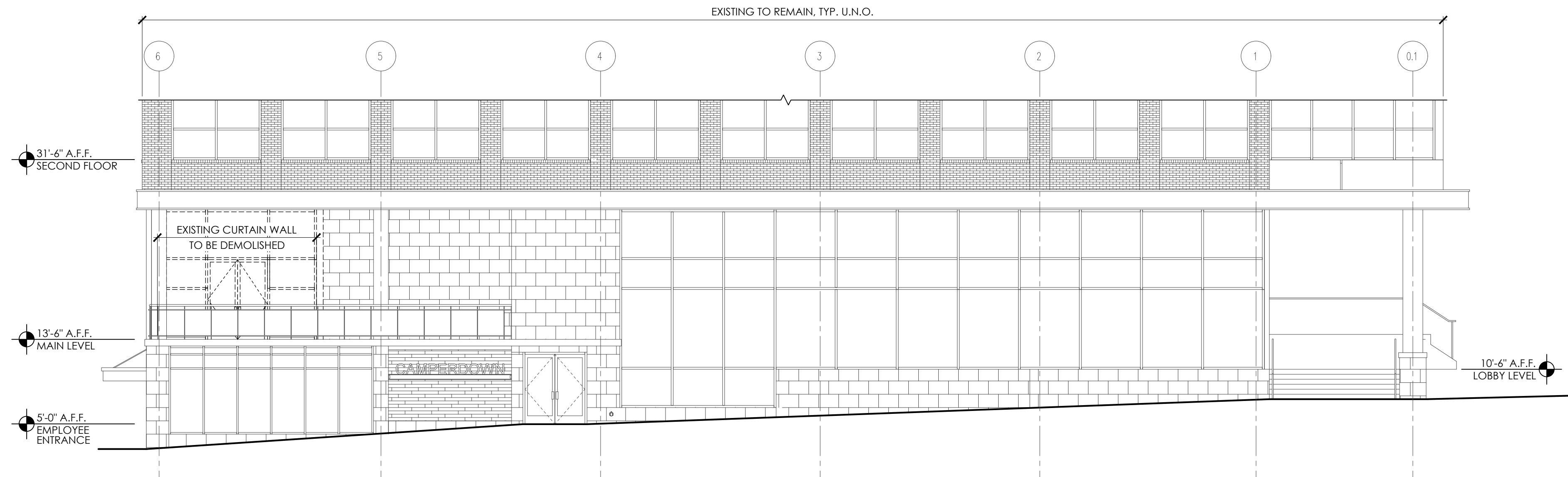
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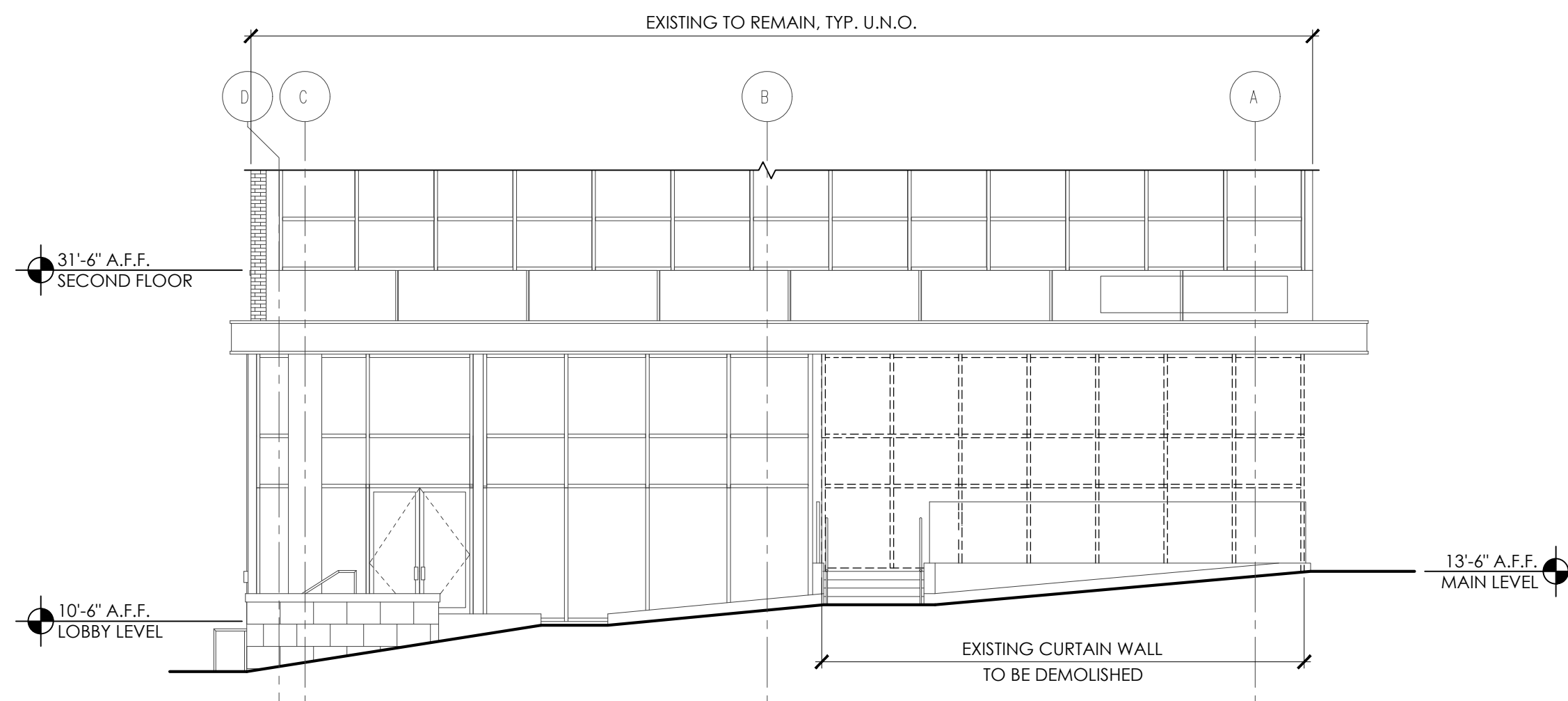
LARKIN'S RESTAURANT
GREENVILLE, SC

D2.0

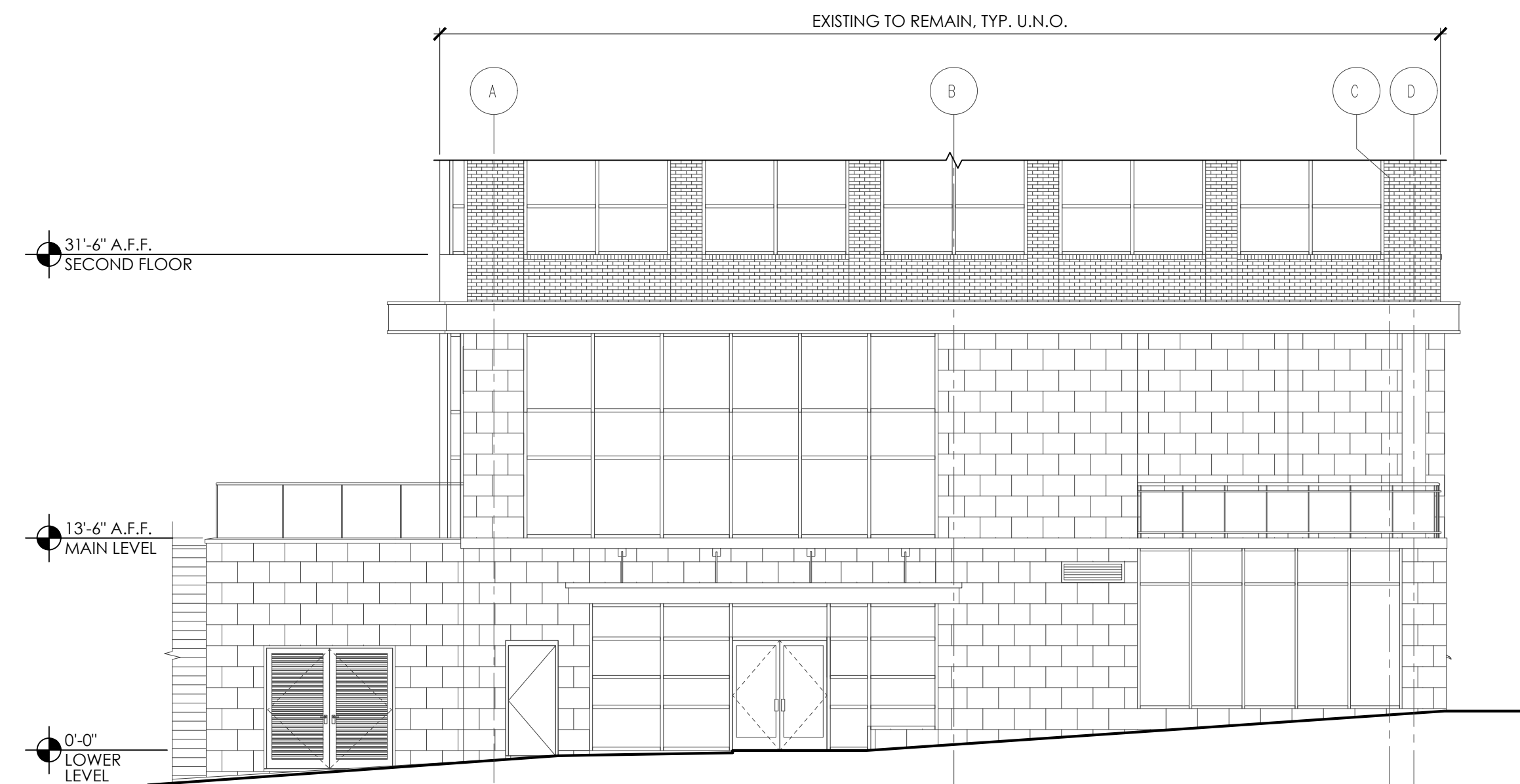
DEMO EXTERIOR
ELEVATIONS



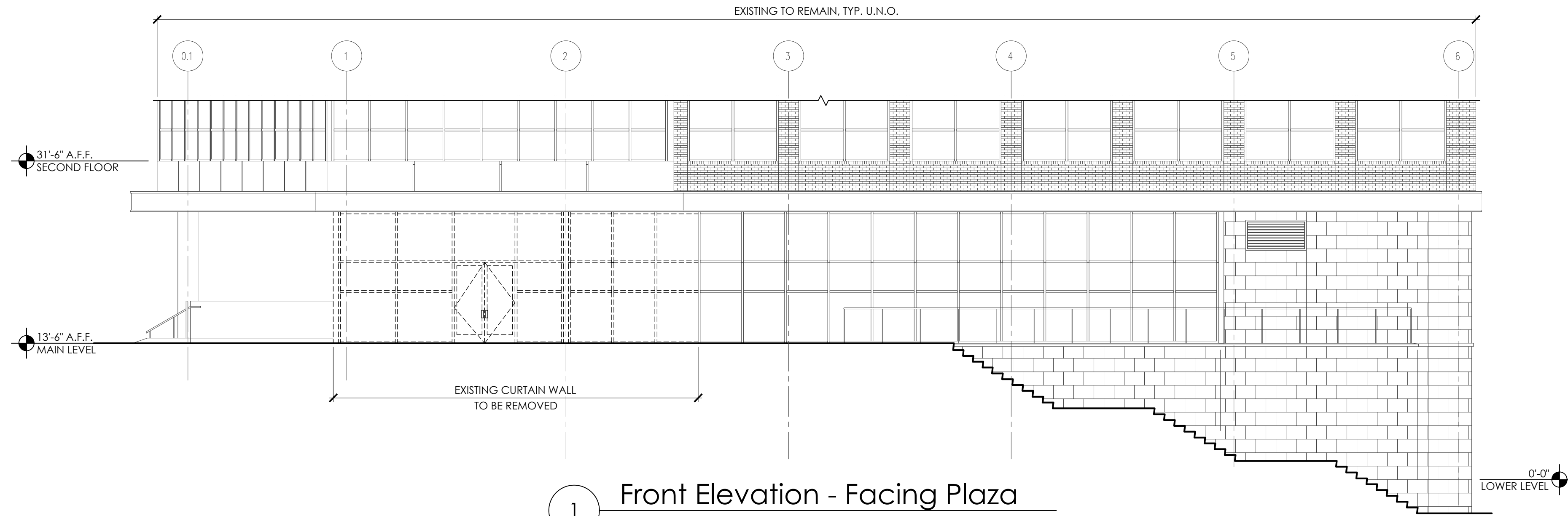
3 Rear Elevation - Facing E. Broad Street
SCALE: 1/8" = 1'-0"



4 Side Elevation - Facing Main Street
SCALE: 1/8" = 1'-0"

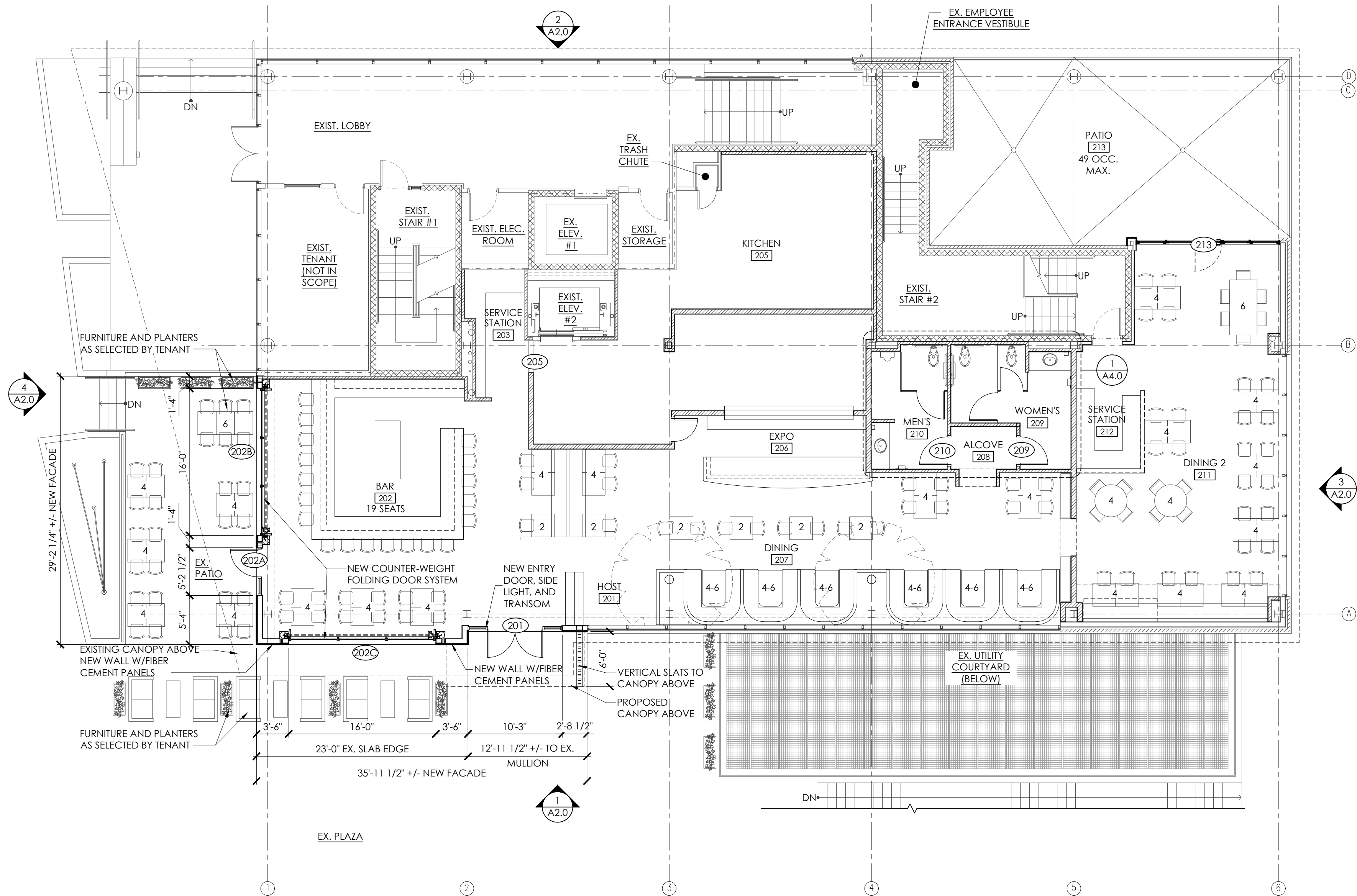


2 Side Elevation - Facing Fall Street
SCALE: 1/8" = 1'-0"



1 Front Elevation - Facing Plaza
SCALE: 1/8" = 1'-0"

WALL TYPES	
1A	TYPICAL INTERIOR WALL 3-5/8" 20 GA. METAL STUDS @ 16" O.C. WITH 5/8" GYPSUM WALLBOARD EACH SIDE. ASSEMBLY TO EXTEND TO UNDERSIDE OF ROOF DECK OR EXISTING HARD CEILING.
1B	PARTITION 1A EXCEPT GYPSUM WALL BOARD STOPS 6" (MIN.) ABOVE FINISHED CEILING.
1C	PARTITION 1A EXCEPT GYPSUM WALL BOARD ONLY ON ONE SIDE AND STOPS 6" (MIN.) ABOVE FINISHED CEILING.
1D	PARTITION 1A EXCEPT GYPSUM WALL BOARD ONLY ON ONE SIDE EXTENDS ROOF DECK.
2A	TYPICAL INTERIOR LOW-WALL 3 5/8" 22 GA. METAL STUDS @ 16" O.C. WITH 5/8" GYPSUM WALLBOARD ON EACH SIDE. EXTEND TO 4'-6" A.F.F. PROVIDE 1x6 WOOD CAP TO FINISH TOP OF WALL. PROVIDE DIETRICH PW24 PARTIAL WALL FRAMING CONNECTOR @ 6'-0" O.C.
2B	TYPICAL INTERIOR LOW-WALL PARTITION TYPE 2A EXCEPT EXTEND TO 6'-0" A.F.F.
2C	TYPICAL INTERIOR LOW-WALL PARTITION TYPE 2A EXCEPT GYPSUM WALL BOARD ONLY ON ONE SIDE
3A	TYPICAL 6" INTERIOR WALL 4" 20 GA. METAL STUDS @ 16" O.C.(MAX) WITH 5/8" M.R. GYPSUM WALLBOARD EACH SIDE. ASSEMBLY TO EXTEND TO UNDERSIDE OF ROOF DECK OR EXISTING HARD CEILING.
3B	PARTITION 3A EXCEPT GYPSUM WALL BOARD STOPS 6" (MIN.) ABOVE FINISHED CEILING.
3C	PARTITION 3A EXCEPT GYPSUM WALL BOARD ONLY ON ONE SIDE AND STOPS 6" (MIN.) ABOVE FINISHED CEILING.



1 Main Level Floor Plan
SCALE: 1/8" = 1'-0"

GENERAL FLOOR PLAN NOTES:

- THESE DOCUMENTS ARE INTENDED TO DESCRIBE THE WORK REQUIRED TO CONSTRUCT THE TENANT UPFIT AS DELINEATED. PRIOR TO CONSTRUCTION, THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE THE SPECIFIC TENANT REQUIREMENTS TO INCLUDE: INTERIOR WALL LOCATIONS, MECHANICAL REQUIREMENTS, POWER & LIGHTING REQUIREMENTS, DOOR LOCATIONS, EQUIPMENT REQUIREMENTS, ETC.
- FOR ALL DOOR HARDWARE SCHEDULES AND DOOR SCHEDULES, REFER TO SHEET A6.0.
- (EXPOSED PIPES AND SURFACES) HOT WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL NOT BE SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.
- PROVIDE TYPE 2-A FIRE EXTINGUISHERS. FIRE EXTINGUISHERS SHALL BE LOCATED PER FIRE MARSHALL. A TYPE "K" FIRE EXTINGUISHER IS REQUIRED IN THE KITCHEN.
- SEE SHEET A1.2 & A1.3 FOR EQUIPMENT PLAN & SCHEDULE.
- ALL DIMENSIONS ARE TO FACE OF STUD FRAMING U.N.O.
- GC TO FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR COORDINATION.
- ALL WORK SHALL MEET THE MINIMUM REQUIREMENTS OF THE LATEST ADOPTED EDITIONS OF THE APPLICABLE CODES AS INDICATED ON SHEET G1.0 AND ALL OTHER LOCAL, STATE OR FEDERAL CODES OR REGULATION HAVING JURISDICTION.
- ALL CONSTRUCTION SHALL BE HANDICAPPED ACCESSIBLE AND COMPLY WITH BARRIER FREE DESIGN AND OTHER APPLICABLE STANDARDS.
- DO NOT SCALE DRAWING. IF DIMENSIONS ARE IN QUESTION THE

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH THE WORK.
- IN THE EVENT OF ANY DISCREPANCIES FOUND IN THE DRAWING AND THOSE OF ENGINEERS, THE CONTRACTOR SHALL BE REQUIRED TO NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
 - HORIZONTALLY BRACE (STIFFEN) ALL METAL STUD SYSTEMS AS RECOMMENDED AND BRACE TOPS OF ALL PARTITIONS TO STRUCTURE ABOVE.
 - ALL NEW ROOF WORK TO BE PERFORMED BY LANDLORDS ROOFING CONTRACTOR SO AS NOT TO VOID MANUFACTURERS WARRANTY.
 - G.C. TO COORDINATE NEW ROOF PENETRATIONS AND STRUCTURAL BRACING FOR NEW ROOFTOP EQUIPMENT WITH A STRUCTURAL ENGINEER AND EQUIPMENT SUPPLIER.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL IN-PLACE STRUCTURAL ELEMENTS FROM DAMAGE DURING CONSTRUCTION.
 - ALL BLOCKING TO BE FIRE RETARDANT IF REQUIRED BY CODE. ALL WOOD IN CONTACT WITH MORTAR CONCRETE, MASONRY TO BE PRESSURE TREATED.
 - DO NOT PENETRATE OR OTHERWISE INTERRUPT THE FIRE RATING OF RATED BUILDING ELEMENTS.
 - G.C. TO COORDINATE ALL FLOOR AND WALL FINISHES TO ALLOW FOR A SMOOTH, LEVEL TRANSITION BETWEEN MATERIALS.
 - G.C. SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BACK-UP PLATES, SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL SUSPENDED OR WALL MOUNTED MECHANICAL, ELECTRICAL, OR MISC. EQUIPMENT.

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SEAL

LARKIN'S

est. 2005

AGED STEAKS • FRESH FISH • OLD WINE

LARKIN'S RESTAURANT UPFIT

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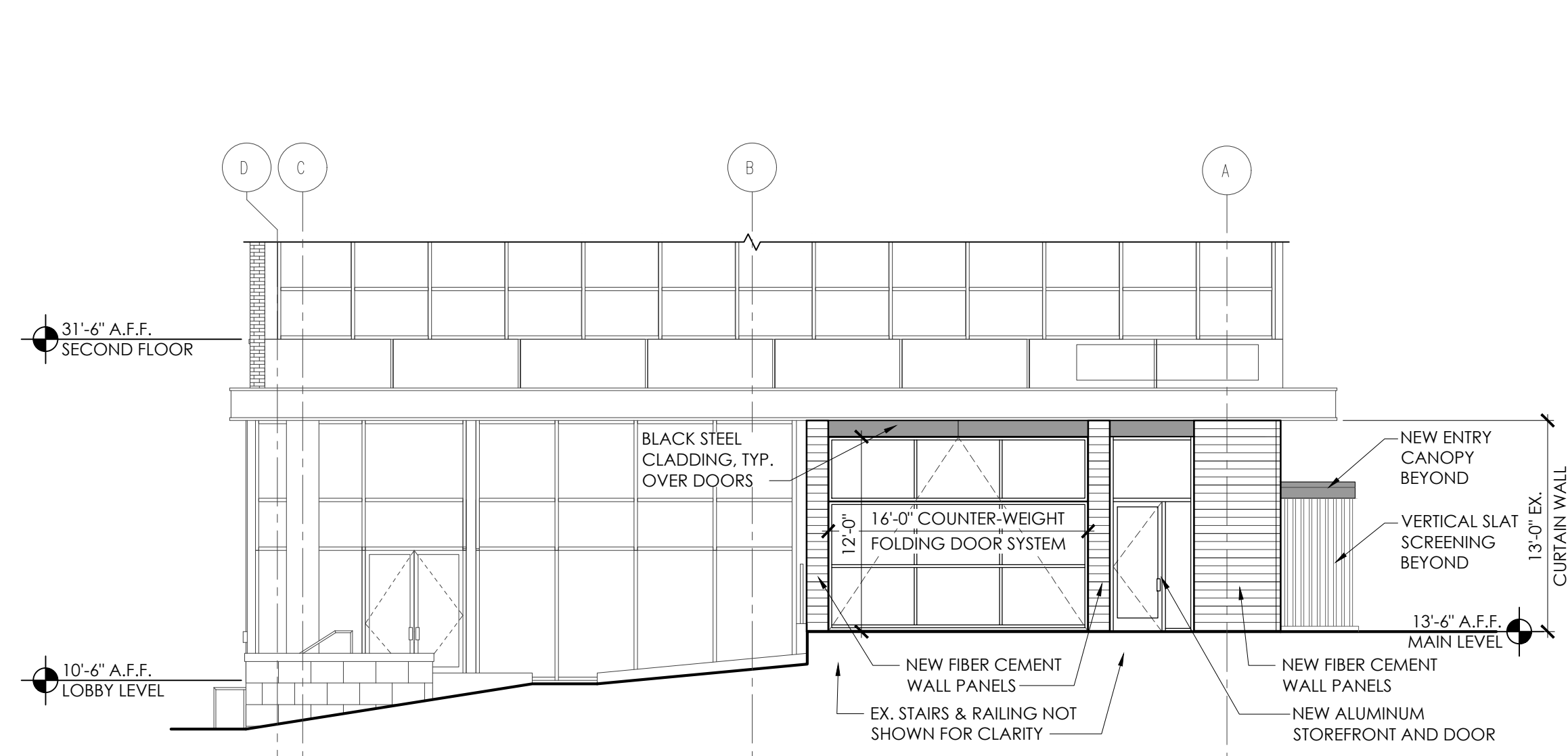
LARKIN'S RESTAURANT

GREENVILLE, SC

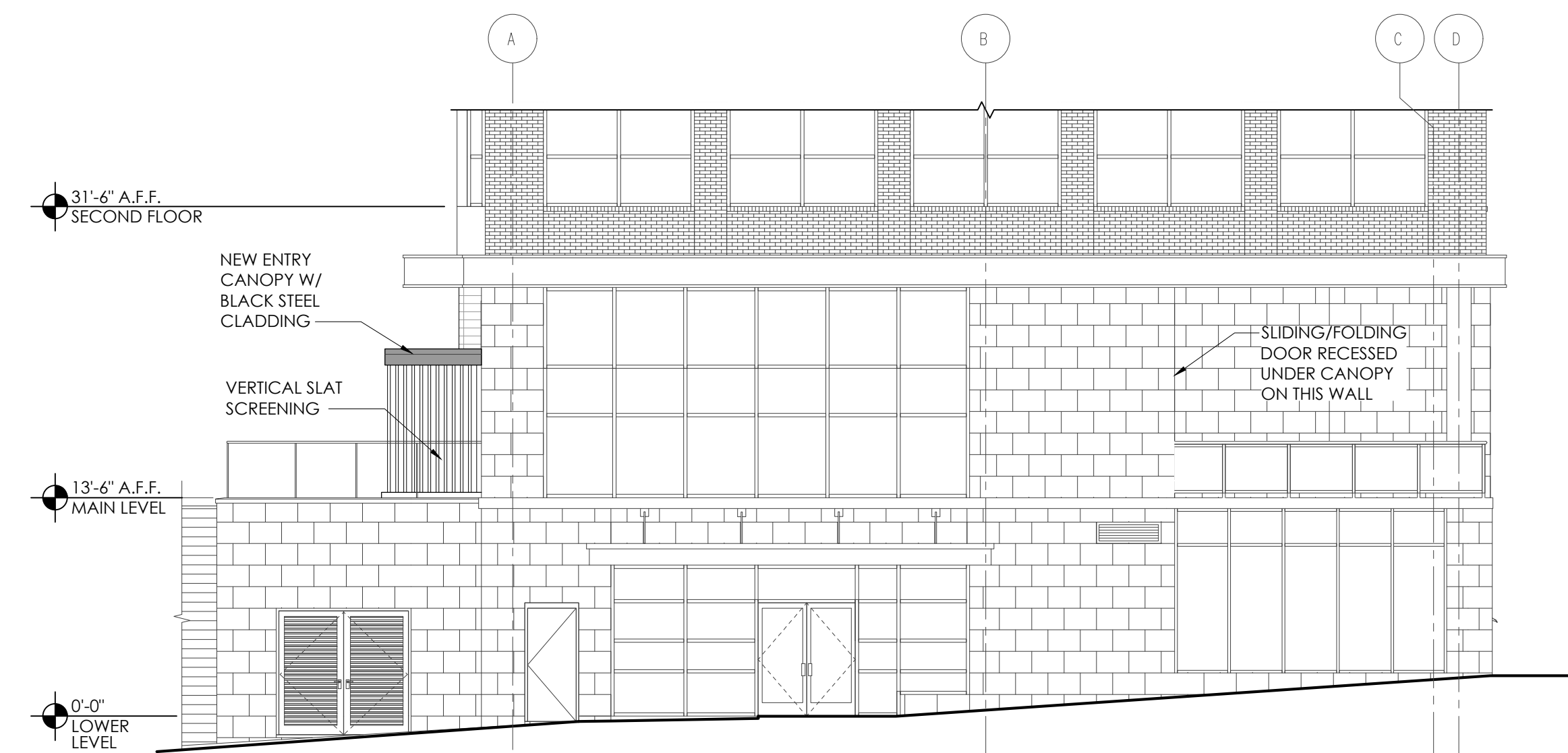
A1.1

MAIN LEVEL

FLOOR PLAN

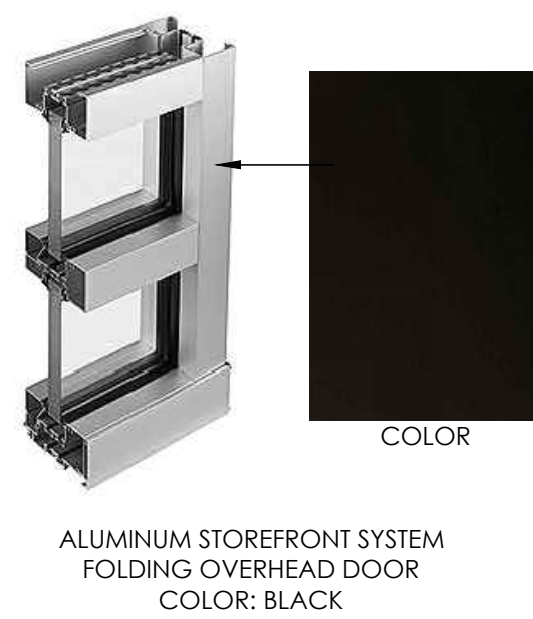


4 Side Elevation - Facing Main Street
SCALE: 1/8" = 1'-0"



3 Side Elevation - Facing Fall Street
SCALE: 1/8" = 1'-0"

Proposed Cladding Materials



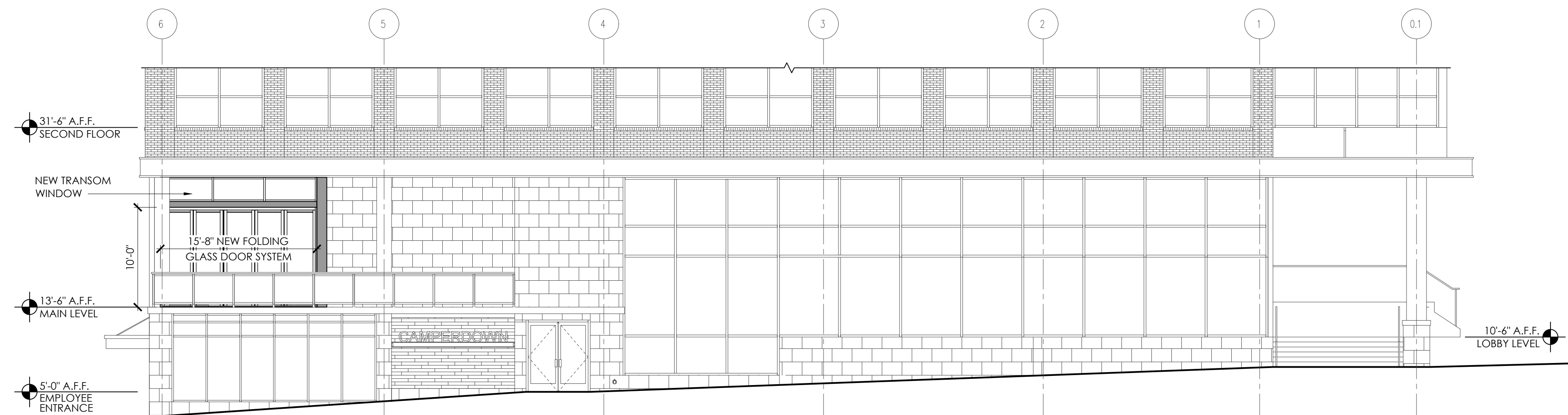
ALUMINUM STOREFRONT SYSTEM
FOLDING OVERHEAD DOOR
COLOR: BLACK



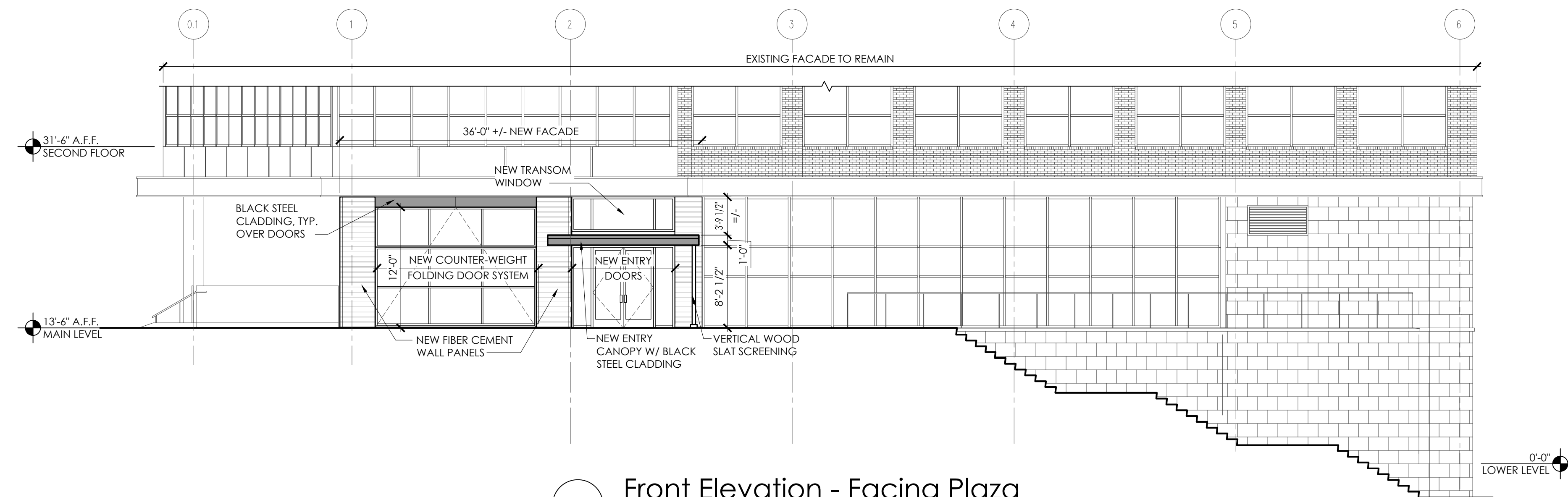
FIBER CEMENT PANELS
NICHHA VINTAGEWOOD
COLOR: CEDAR



STEEL PLATE CLADDING
1/8" THICK BLACKENED STEEL PLATE
CLEAR SEALED AND FASTENED W/ BLACK
PAN HEAD SCREW



2 Rear Elevation - Facing E. Broad Street
SCALE: 1/8" = 1'-0"



1 Front Elevation - Facing Plaza
SCALE: 1/8" = 1'-0"



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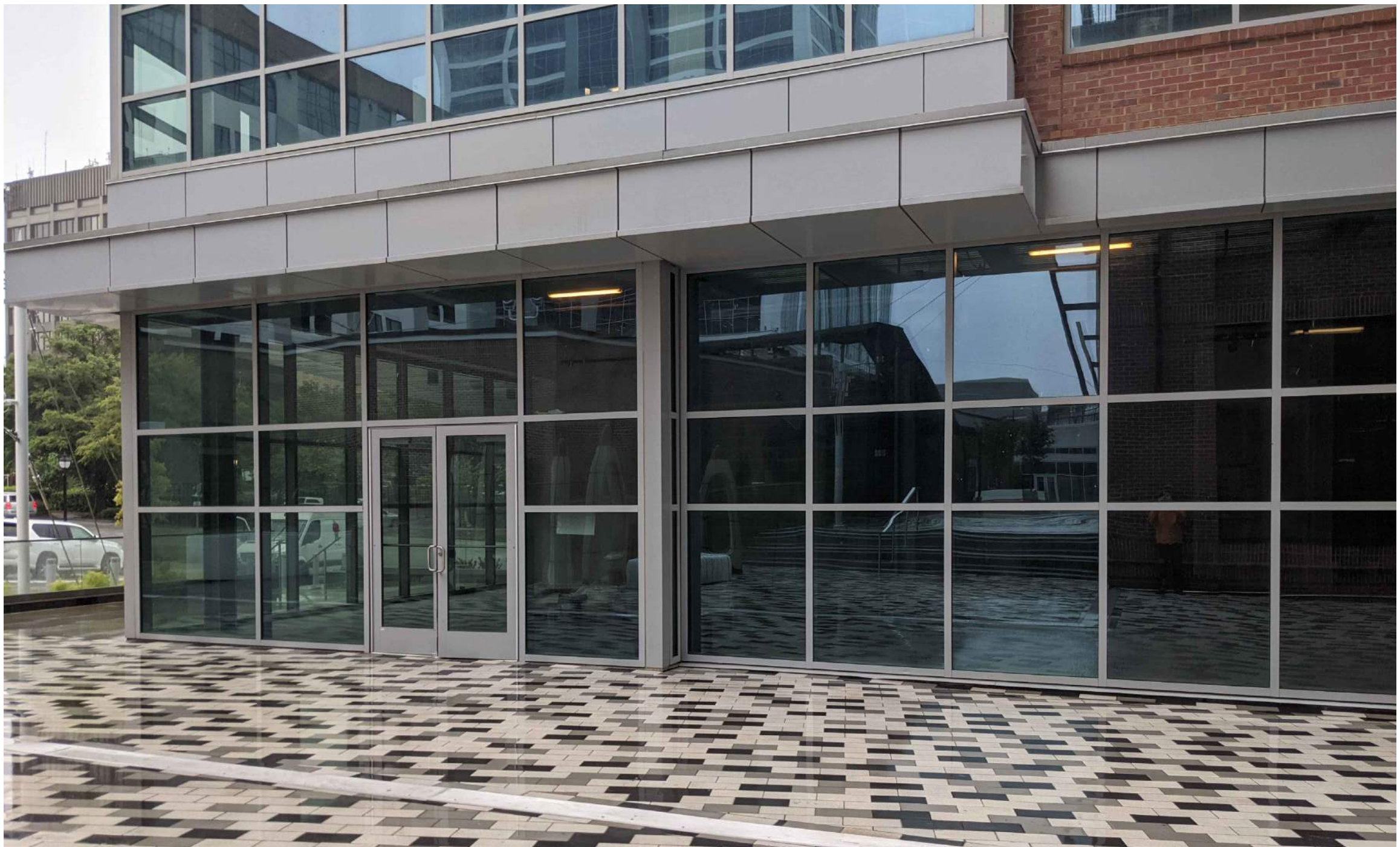
A2.0
EXTERIOR
ELEVATIONS



5 Proposed Improvements
South View from Plaza
SCALE: N.T.S.



5 Proposed Improvements
South View from Plaza
SCALE: N.T.S.



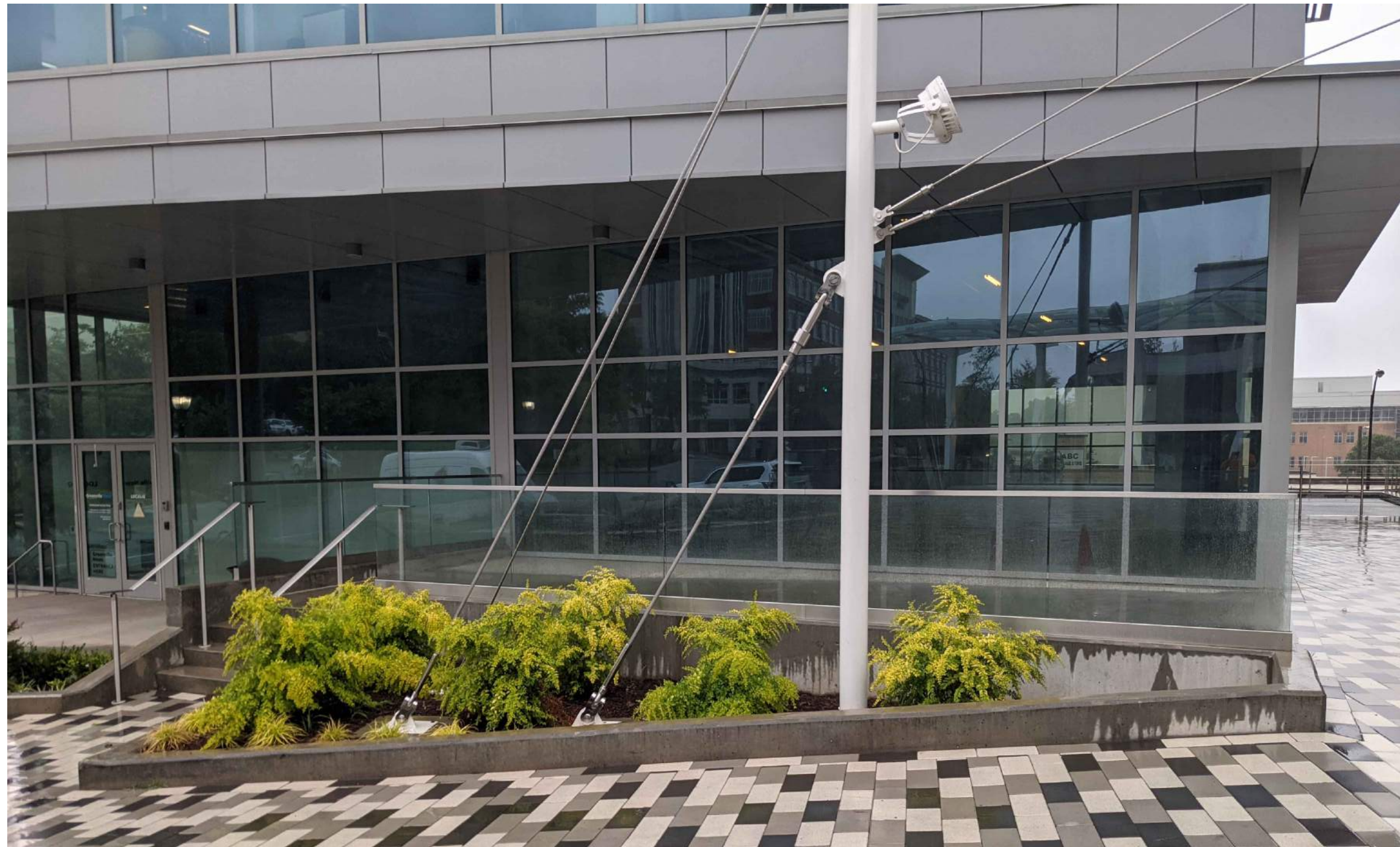
4 Existing South Elevation
Facing Plaza
SCALE: N.T.S.



3 Proposed Improvements
Southwest View from Plaza
SCALE: N.T.S.



2 Proposed Improvements
West View from Plaza
SCALE: N.T.S.



1 Existing West Elevation
Facing Valet Parking & Main St.
SCALE: N.T.S.



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THERMALLY BROKEN ALUMINUM FOLDING DOORS



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Product Approval FL 27023

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FOLDING



SLIDING



STACKING



PIVOT

SYSTEM THRESHOLDS

Maximum / Minimum Specifications

Max Panel Weight:	350 lbs each panel
Max Panel Height:	168"
Max Panel Width:	52"
Min Panel Height:	32"
Min Panel Width:	18"
Panel Thickness:	2-1/4"
Overall Frame:	213.33 FT ²

NOTE: When using maximum panel widths & heights, panels may exceed maximum panel weight of 350 lbs. Calculated weight check should be done. For installations in Florida, please see the Florida Product Approval for usage and limitations.

SYSTEM HIGHLIGHTS

Extrusions

Extruded aluminum 6063-T5 with door panel corner keys for strength and security

Hardware

Stainless steel (316/304SS) components with aluminum hinges

Twinpoint Hardware

Stainless steel (304SS) and aluminum components

Lever Lock Sets

3 hooks + top and bottom shootbolts
5 point locking system

Multi-point Door Locks

Faceplate, latch and hooks are stainless steel 304SS

Sills

Standard, modified standard, ADA and channel options

Matching Fixed Units

Matching custom transom and sidelight units available

Thermally Broken

Prevent the conductive thermal energy loss from interior and exterior environments

Configuration

Straight, segmented, radius and split height configurations

Corner Units

90° postless corner units

Largest Panel Sizes

14' tall panel heights / 52" panel widths available - the largest in the industry

Long Lasting Finish

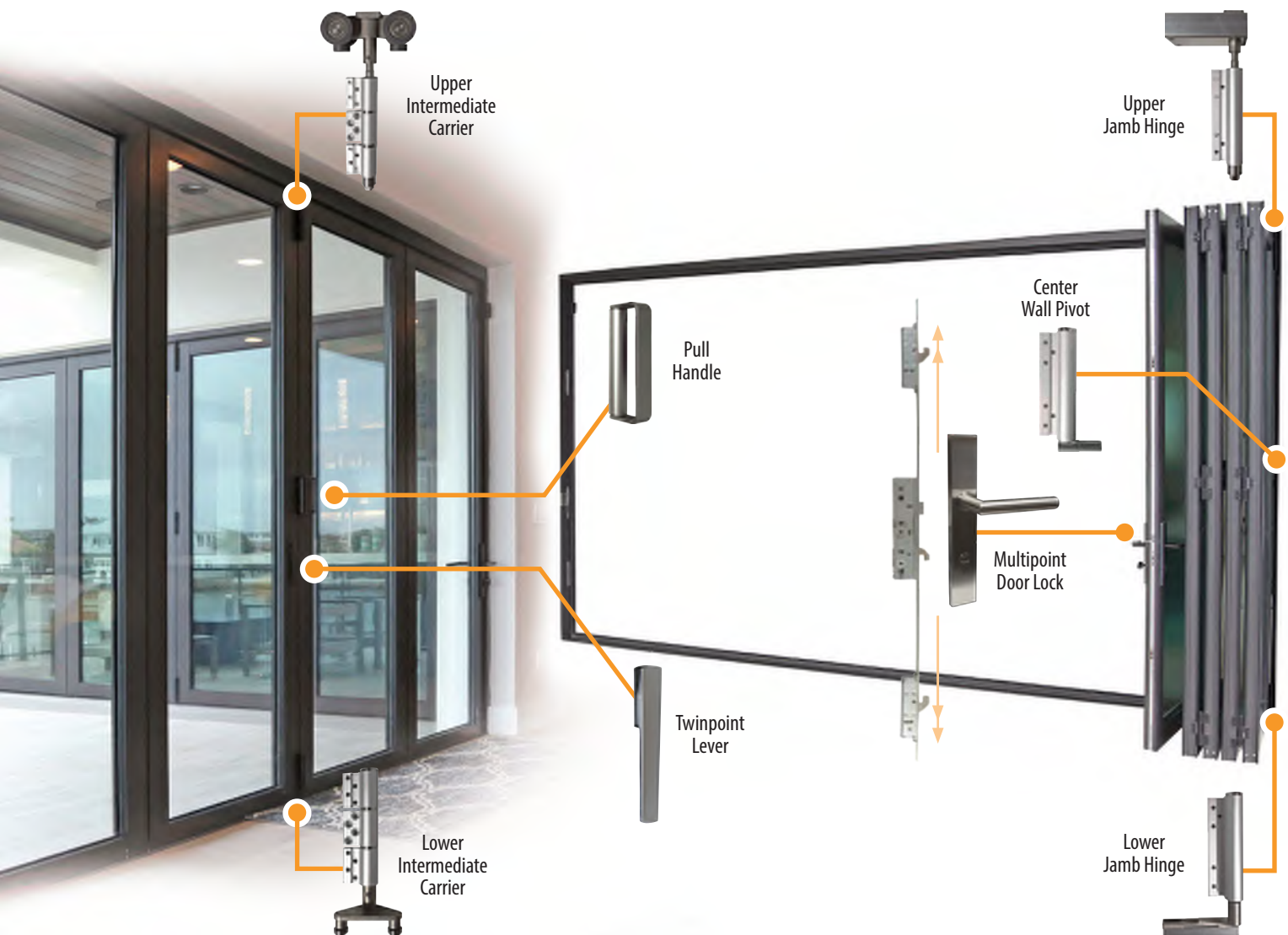
Standard finish coating is AAMA 2605, the highest quality finish available

Aesthetics

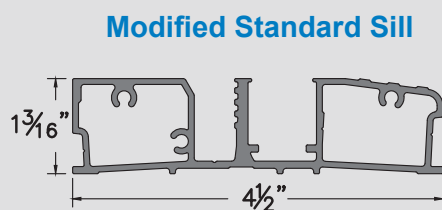
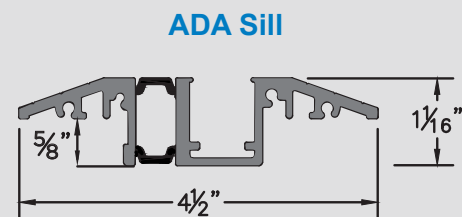
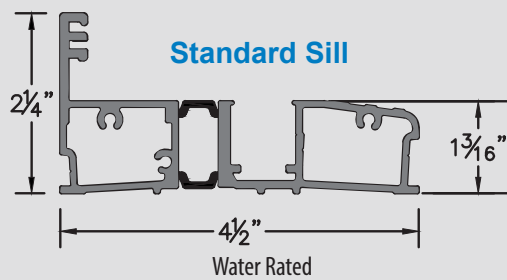
Custom muntins, simulated divided lites and mid-rails



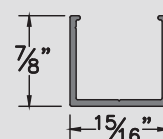
SYSTEM COMPONENTS



SILL OPTIONS

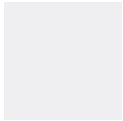


Channel Sill
Interior Application Only



PANEL FINISH OPTIONS

STANDARD FRAME & DOOR PANEL FINISHES



White
AAMA 2605



Clear Anodized
Class I



Bronze
AAMA 2605



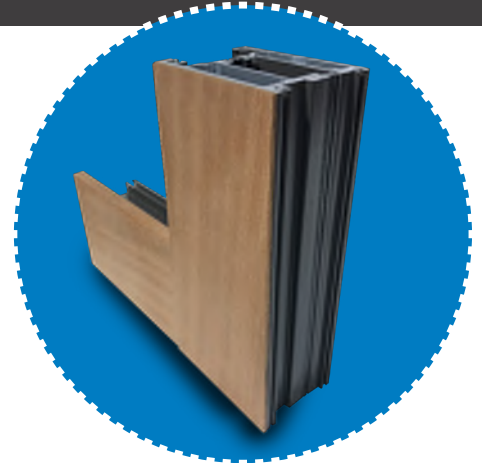
Black
AAMA 2605

STANDARD FRAME & DOOR PANEL FINISHES

- Powder coat or Kynar® finishes available
- Custom powder coat or Kynar® finishes available
- Manufacturer color match options
- Custom wood grain finishes available

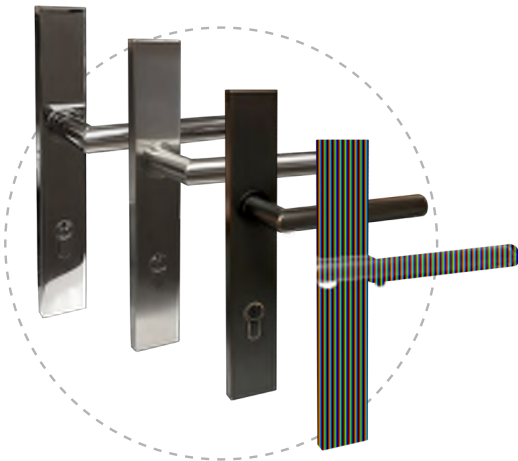
INTERIOR WOOD CLAD FINISH OPTION

- Mahogany / sapele
- White oak
- Additional wood species available



HARDWARE / HANDLE FINISH OPTIONS

MULTIPOINT LOCK HANDLE



Available Finishes

Polished Stainless Steel
Brushed Satin
Bronze
Black

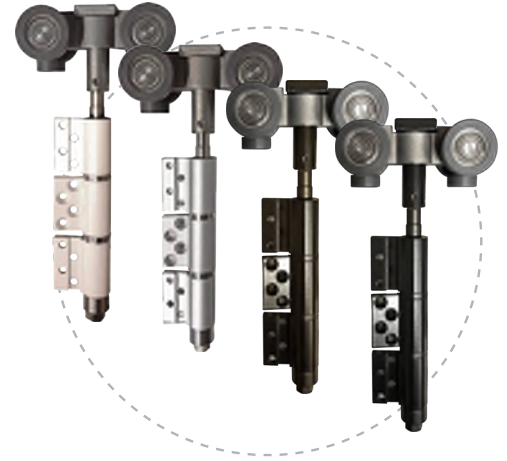
TWINPOINT LEVER



Available Finishes

White
Brushed Satin
Bronze
Black
Custom Colors Available

HINGES / HARDWARE



Available Finishes

White
Brushed Satin
Bronze
Black

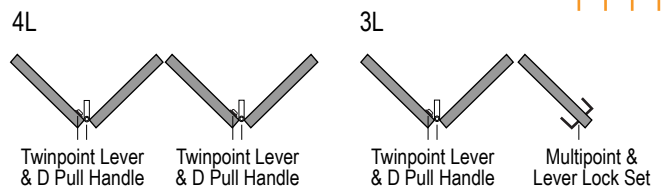
NOTE: The colors shown are an approximation of actual color and finish. Actual colors and finishes may vary slightly.

SUPERIOR BY DESIGN

FOLDING CONFIGURATIONS

CODE		OPENING CONFIGURATION		
2L		Accessible from interior only. Exterior available upon request.	2R	
2L1R			1L2R	
3L			3R	
3L1R			1L3R	
4L		Accessible from interior only. Exterior available upon request.	2L2R	
4L1R			NOTE: The configurations on this page are just a few examples of the numerous possibilities for Euro Vista Fold™ Door layout options.	
3L2R				
5L				
3L3R			<div><div>4L</div><div></div><div>Twinpoint Lever & D Pull Handle</div></div> <div><div>3L</div><div></div><div>Twinpoint Lever & D Pull Handle</div></div> <div>Mu</div>	
7L				
4L3R				
5L2R			Twinpoint assembly is used in securing each pair of foldi panels in the closed position.	
5L5R				
5L7R				
5L9R				
5L11R				

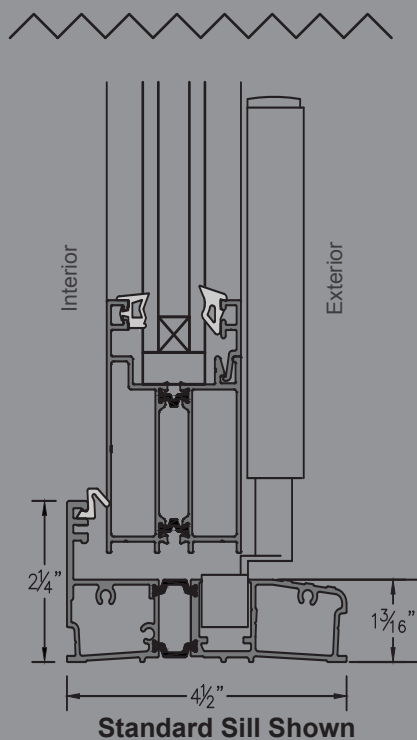
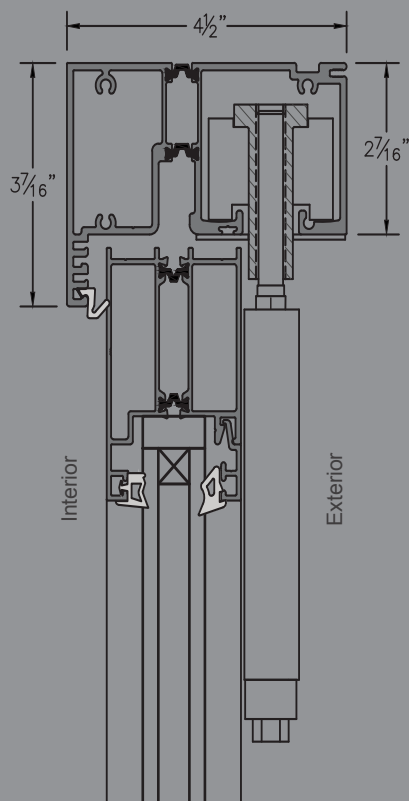
NOTE: The configurations on this page are just a few examples of the numerous possibilities for Euro Vista Fold™ Door layout options.



Twinpoint assembly is used in securing each pair of folding door panels in the closed position.

PANEL CROSS SECTION

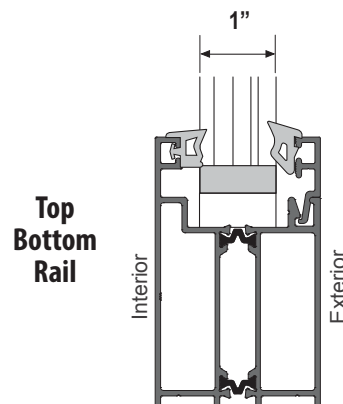
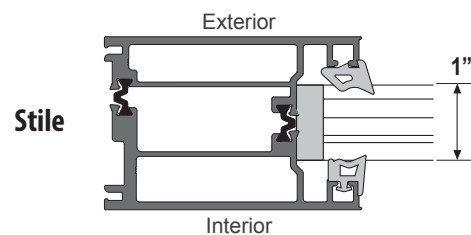
Outswing Extrusion Shown



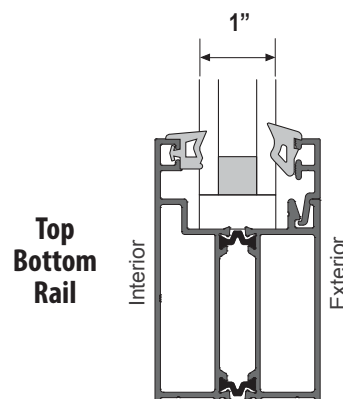
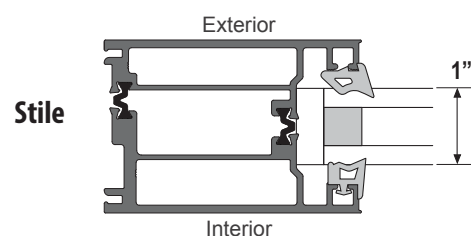
GLAZING DETAILS

Available glass options for the Euro Vista Fold™ Thermally Broken Folding Door System are detailed below.

Insulated Impact Glass



Insulated Glass



TEST PERFORMANCES

—□ California Title 24 Compliant

—□ ASTM 283-4 / ASTM 547-00 /
ASTM330-02 / AAMA 1304

—□ Air Infiltration: A2

—□ Water Leakage Resistance: DP50

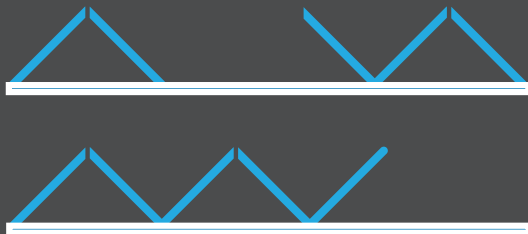
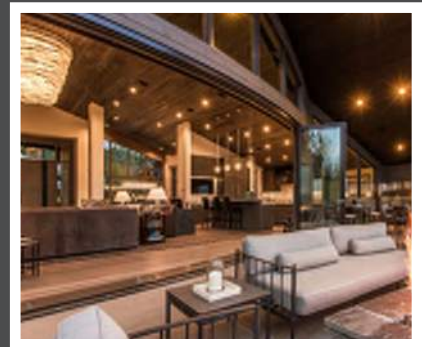
—□ Wind Load Resistance: DP50

—□ Tested for Thermal Requirements

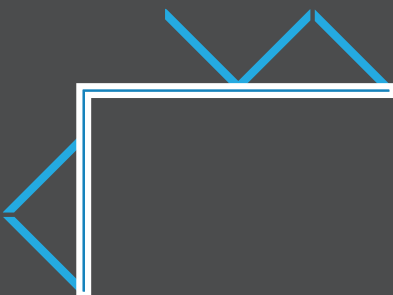
CONFIGURATION SAMPLES



RADIUS



STRAIGHT



SEGMENTED





EURO-WALL 10 YEAR WARRANTY

Euro-Wall warrants the products to be free from manufacturing defects for a period of 10 years from the date of purchase.

MANUFACTURING

2200 Murphy Court
North Port, Florida 34289
888.989.3876 • 941.979.5316

888.989.EURO (3876)
www.euro-wall.com

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SHOWROOM

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Dania Beach, Florida 33004
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Proud Member of the American Architectural Manufacturers Association.





THE WOOD SERIES

Get the natural look of wood with unmatched durability.

With 10 varieties of style and color, the Wood Series is our largest and most popular product line. Built to last, our VintageWood,™ RoughSawn,™ and RiftSawn™ panels offer the rich textures of wood while providing color stability and withstanding extreme weather elements.

VintageWood exudes modern refinement and works well in both modern and vintage designs. Available in five colors — Bark, Cedar, Redwood, Ash and Spruce — VintageWood continues to be a best seller in the hospitality and healthcare markets. It pairs perfectly with glass, metal and block panels, adding a touch of warmth to the coolness of these materials. And because VintageWood can be installed vertically or horizontally, it offers a wide range of design options.

VINTAGEWOOD



BARK



CEDAR



REDWOOD



ASH



SPRUCE



DESIGN TIP
Achieve the organic staggered look you love with our VintageWood 1818 panels, measuring nearly 6 feet in length.

VINTAGEWOOD SPECS

	AWP 1818	AWP 3030
DIMENSIONS (ACTUAL MM)	17-7/8" H x 71-9/16" L (455MM H x 1818MM L)	17-7/8" H x 119-5/16" L (455MM H x 3030MM L)
THICKNESS (ACTUAL MM)	5/8" (16MM)	5/8" (16MM)
WEIGHT (LBS. PER PANEL)	34.8	57.3
WEIGHT (LBS. PER SQ. FT.)	3.9	3.8
EXPOSED COVERAGE (SQ. FT. PER PANEL)	8.88 SQ. FT.	14.81 SQ. FT.
PACKAGING (PIECES PER PACK)	2 [17.76 SQ. FT.]	2 [29.62 SQ. FT.]



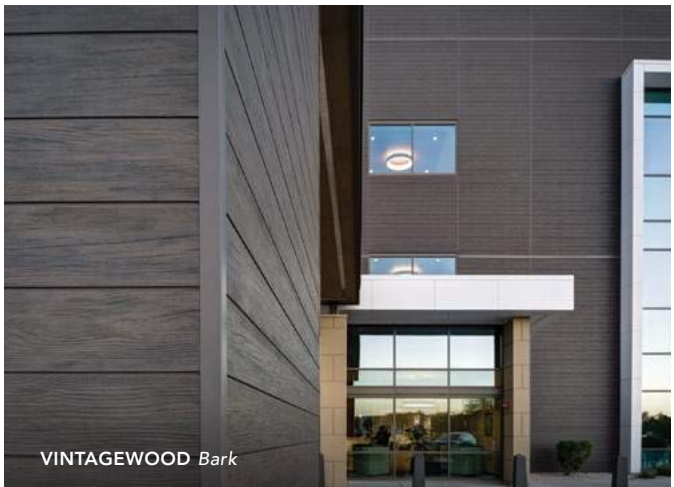
AWP 1818 CAN ONLY BE
INSTALLED HORIZONTALLY.



AWP 3030 CAN BE INSTALLED
HORIZONTALLY OR VERTICALLY.



VINTAGEWOOD Ash



VINTAGEWOOD Bark



VINTAGEWOOD Cedar | ROUGHSAWN Tobacco

Add rustic sophistication with RoughSawn and RiftSawn.

Nichiha’s Wood Series provides the look of wood without the drawbacks of natural wood cladding. With its earthy appeal and rich texture, RiftSawn and RoughSawn™ add a rustic quality to all types of projects. They showcase the ridges, grooves and textures of natural wood while maintaining a consistent length that is easy to work with. RiftSawn is unique in the Wood Series with its full panel design, which incorporates a darker edge to create the look of a reveal. This provides the appearance of an open joint system with the added performance of a closed joint system.

Like VintageWood, these products also pair well with glass, metal, and block panels. And when it comes to installation, hidden fasteners provide a clean and beautiful look that works for exterior and interior applications. Nichiha gives you the perfect match — the beauty of wood backed by the brawn of fiber cement.

ROUGHSAWN



ESPRESSO



TOBACCO



SMOKE

ROUGHSAWN SPECS	AWP 3030
DIMENSIONS (ACTUAL MM)	17-7/8" H x 119-5/16" L (455MM H x 3030MM L)
THICKNESS (ACTUAL MM)	5/8" (16MM)
WEIGHT (LBS. PER PANEL)	57.3
WEIGHT (LBS. PER SQ. FT.)	3.8
EXPOSED COVERAGE (SQ. FT. PER PANEL)	14.81 SQ. FT.
PACKAGING (PIECES PER PACK)	2 [29.62 SQ. FT.]

 AWP 3030 CAN BE INSTALLED HORIZONTALLY OR VERTICALLY.



ROUGHSAWN Tobacco

RIFTSAWN



PECAN



CHESTNUT

RIFTSAWN SPECS	AWP 1818
DIMENSIONS (ACTUAL MM)	17-7/8" H x 71-9/16" L (455MM H x 1818MM L)
THICKNESS (ACTUAL MM)	3/4" (18MM)
WEIGHT (LBS. PER PANEL)	41.6
WEIGHT (LBS. PER SQ. FT.)	4.7
EXPOSED COVERAGE (SQ. FT. PER PANEL)	8.88 SQ. FT.
PACKAGING (PIECES PER PACK)	2 [17.76 SQ. FT.]

 AWP 1818 CAN ONLY BE INSTALLED HORIZONTALLY.



RIFTSAWN Pecan | TUFFBLOCK Steel

BUILT TO
YOUR DESIGN
OBJECTIVES

SINGLE SOURCE

GLASS
FINISH
INSTALLATION

SAFETY

OBSTRUCTION SENSING
PHOTO EYES
FAIL SAFE DEVICE



RENLITA
Custom Opening Solutions

Custom is the Renlita Standard

The Renlita S-2000 Hingeway utilizes counterweight balance technology to ensure smooth operation and durability. Constructed from structural steel sections and suitable for residential, industrial, and commercial applications.

When open, the S-2000 Hingeway folds along a horizontal hinge line and moves upward, while the bottom panel opens until horizontal which creates an awning effect.

The S-2000 Hingeway comes equipped with the standard safety features including Renlita's obstruction sensing REDD™ motor, safety photo eyes, and a patented failsafe device.

S-2000 HINGEWAY

MADE IN THE USA





FEATURES

S-2000 Hingeway opening solution is a counterweight balanced, vertical lift bi-folding system constructed from structural steel and is suitable for all application types. The S-2000 model can be constructed into custom doors, windows or wall systems. The steel frame is designed to withstand 30 psf high wind loads with minimal deflection. The S-2000 is designed for applications where minimal internal projection is required.

From **Concept to Completion**, Renlita provides turnkey services that includes specified finish, glass or cladding, installation and service. Our single source service provides customers with confidence that all aspects of the project are properly coordinated and designed while providing a single warranty for the entire system.

Renlita is the industry leading provider of vertical custom opening solutions utilizing patented safety devices, completed NFRC thermal certification, in-house engineering services and architectural grade finishes and components.

Contact Renlita to begin designing your next customized solution.



RenlitaUSA.com

Ph: 903-583-7500

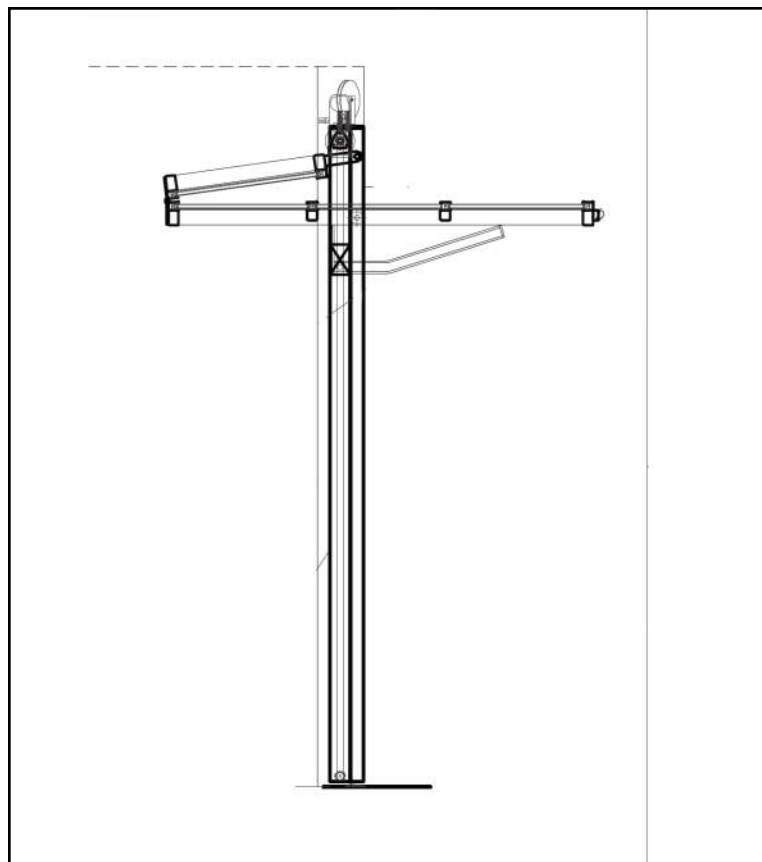
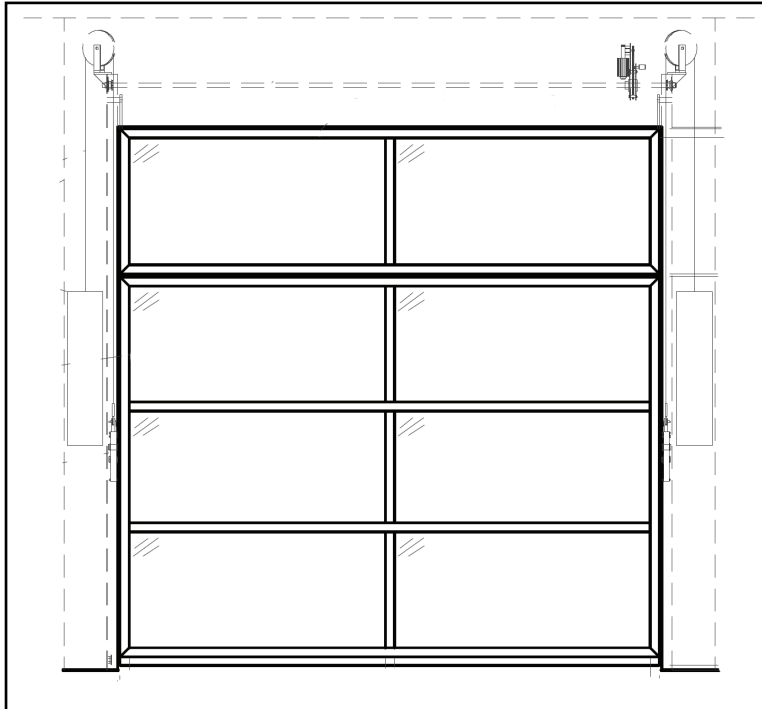
Email: Sales@renlitadoors.com





SPECIFICATIONS

S-2000 HINGEWAY



Counterweight Balanced Systems

The frame is constructed of commercial grade structural steel and designed to meet wind loads of 35psf minimum in the closed position and during operation.

Operation

Operation via motor operator or manual.

Motorized: 110 volt / 8 amps motor system.

Renlita Electric Direct Drive (REDD™) included in all models.

Obstruction sensing technology.

Key switch or touch screen control station.

Manual: Operated by hand without special cranks or tools.

Size

Maximum width: 30'

Maximum height: 20'

Cladding

Wood - Glass - Metal - Stone

Customer Request

Max thickness 2.5"

Max weight 15 psf

Finishes

Powder coated to AAMA 2604 standard color options.

RAL colors

IFS Architectural Colors

Custom color matches upon special request

Installations

Provided by Distributor with factory trained & certified technicians.

No additional structure member at the head required; Attaches to the jamb

Max Size: 30' W x 20' H

Flush Mount Available

Commercial Grade Structural Steel

Standard Photo Eye Sensor

Standard Safety Brake

No Header Structure Required

Turn-Key / Single Source

Made in the USA

Auto Reverse Sensing Motor



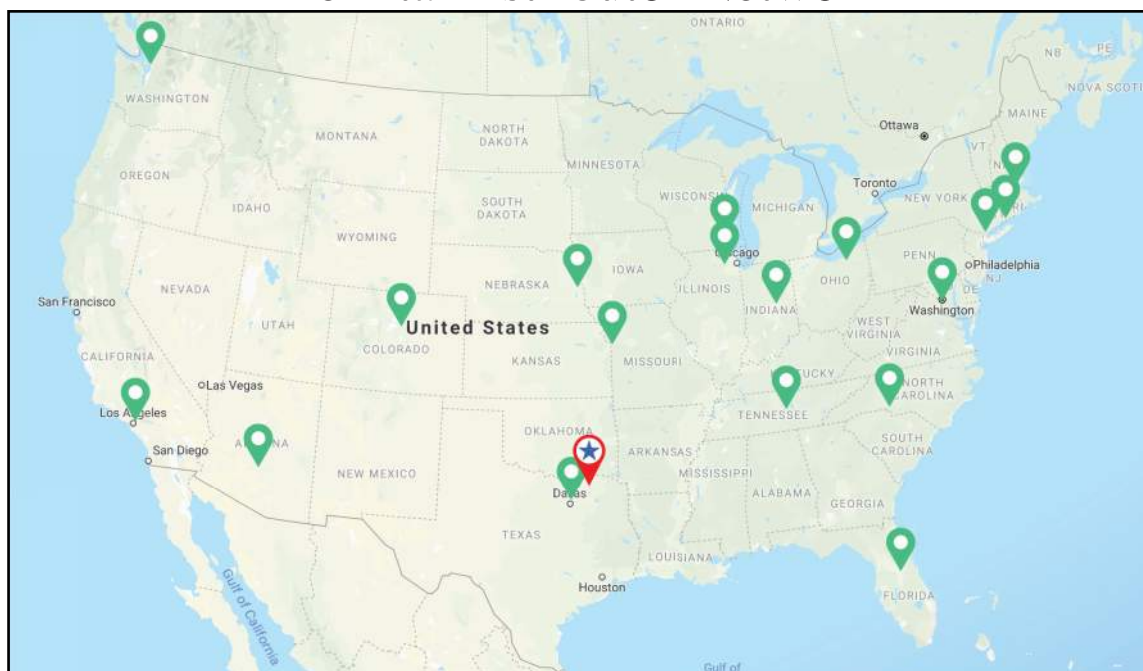
RENLITA
Custom Opening Solutions

RenlitaUSA.com

Made in the USA - Ships Worldwide

Ph: 903-583-7500 • Email: sales@renlitadoors.com

Renlita Distributor Network



BR3301120